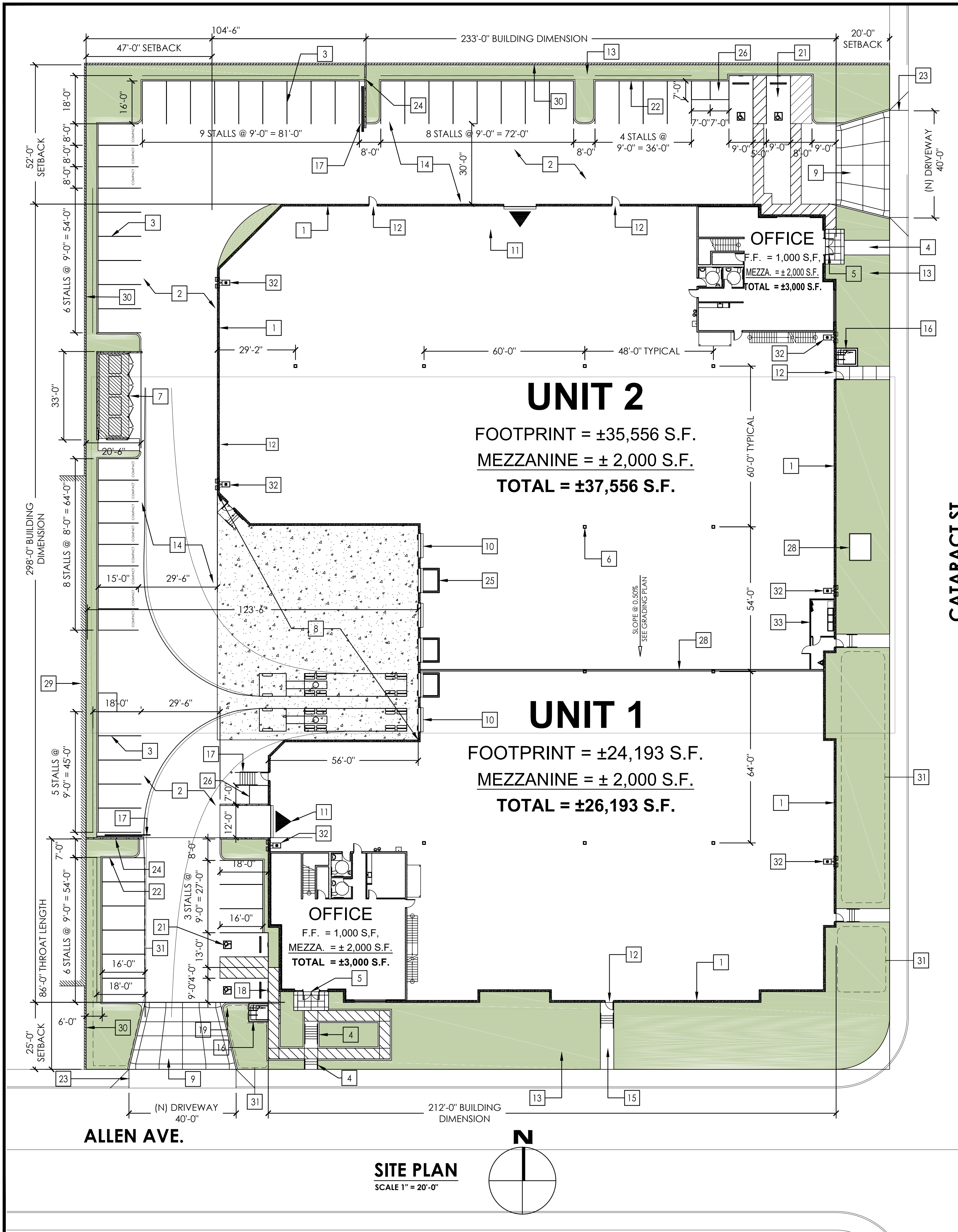


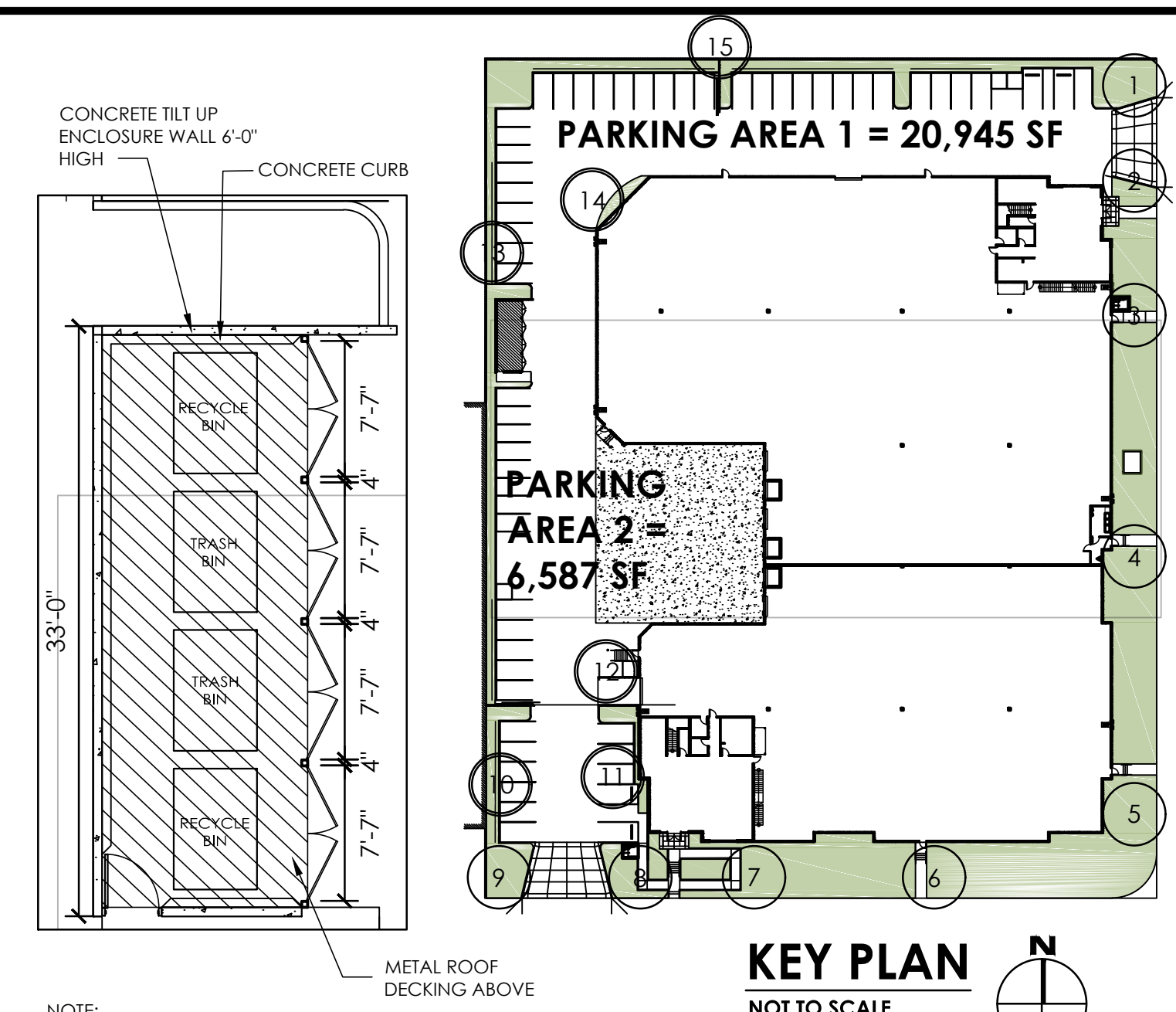
APPENDIX A
PROJECT PLANS



SITE PLAN
SCALE 1" = 20'-0"

CATARACT ST.

ALLEN AVE.



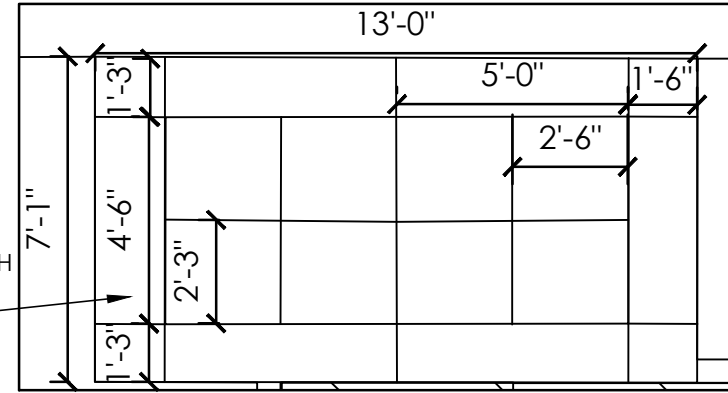
LANDSCAPE CALCS

LANDSCAPED AREA REQUIRED 25' SETBACK ON ALLEN 20' SETBACK ON CATARACT 10% OF THE PARKING AREA	TOTAL LANDSCAPED AREA PROVIDED = 15,709 S.F. AGGREGATE PLANTER AREAS
PARKING AREA 1 = 20,945 S.F. PARKING AREA 2 = 6,587 S.F. TOTAL AREA = 27,532 S.F.	REQUIRED PARKING LANDSCAPED AREA = 2,753 S.F.
	PARKING LANDSCAPED AREA PROVIDED = 3,327 S.F.

PLANTER TABULATION

SETBACK PLANTER	PARKING PLANTER
AREA 1 = 397 S.F.	AREA 10 = 491 S.F.
AREA 2 = 207 S.F.	AREA 11 = 142 S.F.
AREA 3 = 2,026 S.F.	AREA 12 = 99 S.F.
AREA 4 = 2,019 S.F.	AREA 13 = 386 S.F.
AREA 5 = 2,703 S.F.	AREA 14 = 52 S.F.
AREA 6 = 2,124 S.F.	AREA 15 = 2,157 S.F.
AREA 7 = 1,741 S.F.	TOTAL = 3,327 S.F.
AREA 8 = 696 S.F.	
AREA 9 = 469 S.F.	
TOTAL = 12,382 S.F.	

ENLARGED ENTRANCE
SCALE 1/4" = 1'-0"



3. ENLARGED TRASH ENCLOSURE PLAN
SCALE - 1/8" = 1'-0"

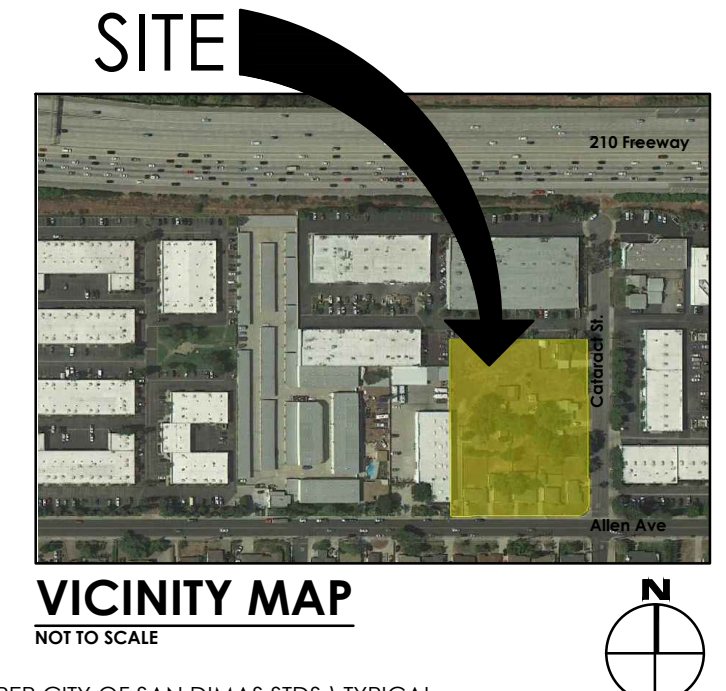
NOTE: THE TRASH ENCLOSURE SHALL BE GRADED SO THAT STORAGE CONTAINERS REMAIN AT REST WITHOUT AUXILIARY RESTRAINING DEVICES.

CITY OF SAN DIMAS NOTES:

1. ALL UTILITIES ON THE SITE SHALL BE INSTALLED UNDERGROUND.

KEY NOTES:

- CONCRETE TILT-UP WALL
- A.C. PAVING
- PARKING STALL STRIPING (PER CITY OF SAN DIMAS STDS.) TYPICAL
- ACCESSIBLE PATH OF TRAVEL 48" WIDE (MIN.)
- BUILDING ENTRANCE. PROVIDE A 4" SQ. DISABLED ACCESSIBILITY SIGN
- STEEL COLUMNS, TYPICAL
- TRASH ENCLOSURE, MIN. 6' HIGH SCREEN WALLS WITH METAL DOORS-SEE (1-TRASH/1-RECYCLE BIN) PER CITY OF INDUSTRY STANDARDS
- CONCRETE TRUCKWELL PER STRUCTURAL DRAWINGS
- ENHANCED PAVEMENT, TOP CAST MEDIUM FINISH CONCRETE CHARCOAL COLOR. SCORE LINES PER PLAN
- 9' X10' TRUCK DOOR (DOCK HIGH), TYPICAL
- 12' X14' TRUCK DOOR (GRADE LEVEL) TYPICAL
- 3'X7' MAN DOOR (TYPICAL) WITH 60"X60" LANDING, TYPICAL
- LANDSCAPE W/AUTOMATIC IRRIGATION SYSTEM
- 28'-0" WIDE MIN. & CLEAR TO THE SKY FIRE LANE W/ FIRE TRUCK TURNABOUT STRIPED PER FIRE DEPARTMENT STANDARDS
- CONCRETE WALKWAY, TYPICAL
- (2) BICYCLE RACK (PARKS 5 BICYCLE EA.) MODEL #2290-055 AS MANUF. BY PARK'RITE.
- 8'-HIGH BI PART TELESCOPING SLIDING WROUGHT IRON GATE
- VAN ACCESSIBLE PARKING SIGN
- WARNING SIGN FOR ALL DRIVEWAY ACCESSIBLE PARKING
- CONCRETE BUMPER, TYPICAL SEE
- 9'X18' MIN. ACCESSIBLE PARKING STALL W/ ALL SYMBOLS, SIGNS, RAMPS AS REQUIRED TO MEET TITLE 24 AND ADA REQUIREMENTS
- 6' MIN. HIGH CONCRETE CURB, TYPICAL
- NEW DRIVE APPROACH PER CITY OF SAN DIMAS STANDARDS. 6" MIN. THICK, 3500 PSI FINISHED ON EXPOSED AGGREGATE.
- 10'-0" HIGH CONCRETE TILT UP SCREEN WALL TO MATCH BUILDING, SEE ELEVATIONS
- DOCK LEVELER
- 7' X 7' MOTORCYCLE PARKING
- DEMISING WALL
- PROPOSED LOCATION OF TRANSFORMER PAD COMPLETELY SCREENED BY LANDSCAPE
- EXISTING BUILDING ADJACENT TO PROPERTY LINE
- EXISTING MASONRY WALL ALONG PROPERTY LINE, SHARED WITH ADJACENT LOTS
- PROPOSED LOCATION OF RUN-OFF CONTAINMENT, INFILTRATION BASINS
- PROPOSED LOCATION OF INTERIOR ROOF DRAIN
- PROPOSED LOCATION OF MECHANICAL ROOM



VICINITY MAP
NOT TO SCALE

PROJECT DATA

DESCRIPTION	AREAS
CURRENT ZONING	AL - LIGHT AGRICULTURAL
PROPOSED ZONING	M-1 LIGHT MANUFACTURING
LAND USE DESIGNATION	INDUSTRIAL
PROJECT DESCRIPTION	(1) NEW CONCRETE TILT UP WAREHOUSE / OFFICE BUILDING
ASSESSOR'S PARCEL NO.	8392-016-008, 8392-016-047 & 8392-016-048
BUILDING CODE	CBC 2019
BLDG. OCCUPANCY	B - OFFICE S1 - WAREHOUSE
BUILDING TYPE	III-B, FULLY SPRINKLERED
LAND AREA : PARCEL SIZE	GROSS ±112,500 S.F. (2.58 AC)
COVERAGE :	57%
ALLOWABLE COVERAGE :	60%
LANDSCAPED AREA REQUIRED 25' SETBACK ON ALLEN 20' SETBACK ON CATARACT 10% OF THE PARKING AREA	TOTAL LANDSCAPED AREA PROVIDED = 15,709 S.F. AGGREGATE PLANTER AREAS
CONSTRUCTION TYPE	III-B WITH FULLY SUPERVISED AUTOMATIC FIRE SPRINKLER SYSTEMS
BUILDING HEIGHT	MAXIMUM BUILDING HEIGHT PER 504.3 = 75'
NUMBER OF STORIES	ALLOWABLE STORIES PER 504.4 = 3
AREA JUSTIFICATION	ALLOWABLE AREA *S1-S = 48,000 PER TABLE 506.2 BUILDING FOOTPRINT: 61,500 S.F. < 70,000 S.F.
*HEIGHT, NUMBER OF STORIES AND ALLOWABLE AREA CALCULATED BASED ON THE MOST RESTRICTIVE OCCUPANCY ALLOWANCE PER § 508.3. IN THIS CASE F1-S	
BUILDING	63,749 S.F.
TOTAL AREA	
FIRST FLOOR	WAREHOUSE 57,749 S.F. OFFICE 2,000 S.F. TOTAL FOOTPRINT 59,749 S.F.
MEZZA FLOOR	WAREHOUSE 0 S.F. OFFICE 4,000 S.F. TOTAL MEZZANINE 4,000 S.F.
TOTAL WAREHOUSE	57,749 S.F. 90%
TOTAL OFFICE	6,000 S.F. 10%
PARKING REQUIRED :	OFFICE 2,000 / 250 = 8 CARS 15,000 / 500 = 30 CARS 15,000 / 2,000 = 7.5 CARS 31,749 / 4,000 = 8 CARS TOTAL = 54 CARS +4 MOTORCYCLE STALLS
PARKING PROVIDED:	
ACCESSIBLE (STANDARD) 14' X 18'	1 - STALLS
ACCESSIBLE (8' RAMP) 17' X 18'	2 - STALLS
STANDARD STALLS 9' X 18'	32 - STALLS
COMPACT STALLS 8' X 18'	11 - STALLS
CLEAN AIR STALLS 9' X 18'	5 - STALLS
CLEAN AIR STALL EVSE 9' X 18'	5 - STALLS
TOTAL CARS	56 - STALLS
MOTORCYCLE STALLS 7' X 7'	4 - STALLS
LONG TERM BIKE RACK @ 5% OF PARKING	3 SPACES
SHORT TERM BIKE RACK @ 5% OF PARKING	3 SPACES
TRUCK LOADING REQUIRED	3 SPACES
TRUCK LOADING / PARKING PROVIDED	6 SPACES
TRASH ENCL. AREA PROVIDED	412 S.F.



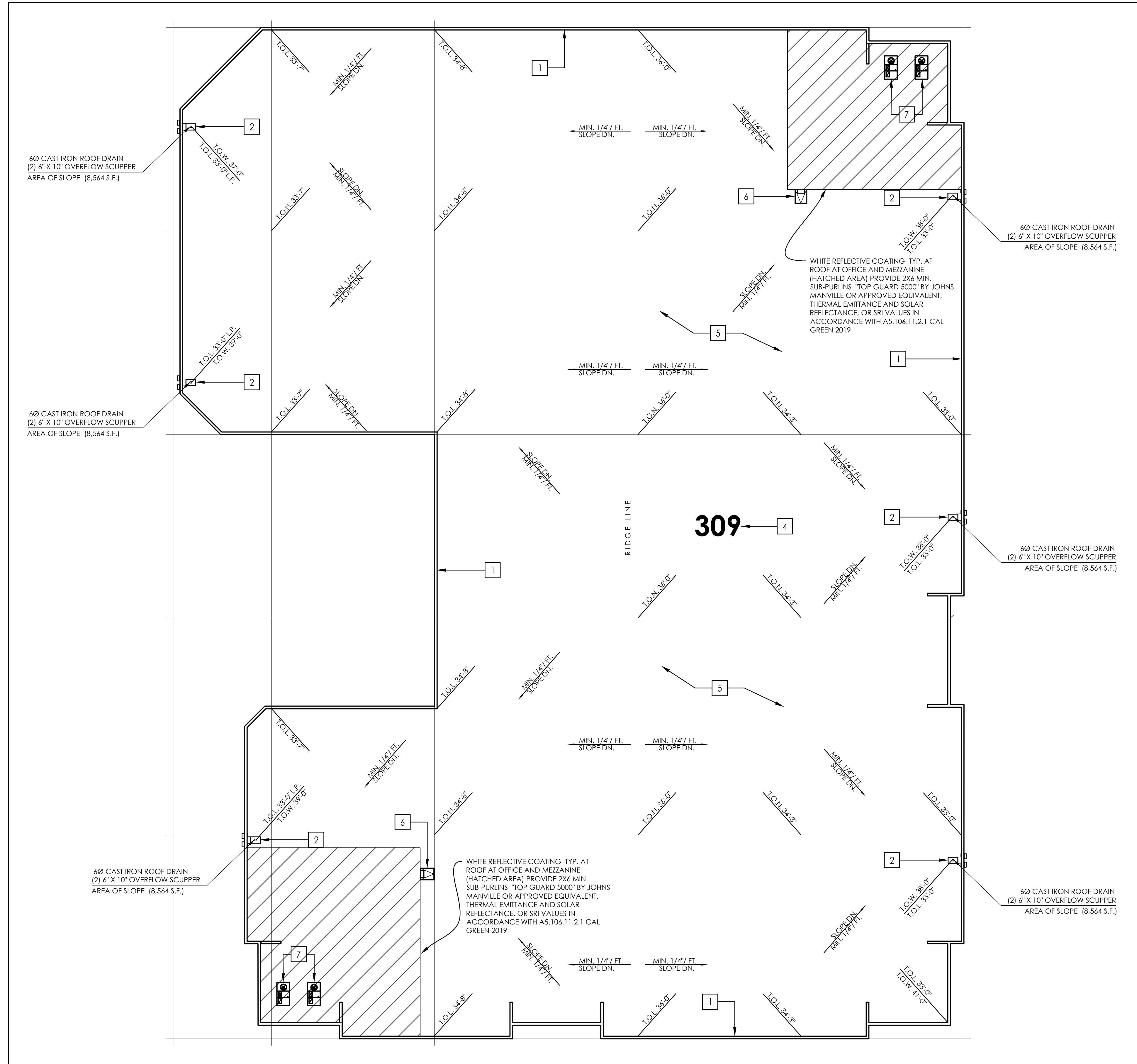
C.E.G. CONSTRUCTION
7901 CROSSWAY DR. PICO RIVERA, CA 90660
TEL (650)949-9804 FAX (650)949-1735

CHALMERS EQUITY GROUP
7901 CROSSWAY DRIVE
PICO RIVERA, CA 90660

CLIENT: CHALMERS EQUITY GROUP
PROJECT NO. A-20-01X
DATE: 07-29-2020
DRAWN: R.S.

CONTENTS: SITE PLAN
SCALE: 1" = 20'-0"
SHEETS: 1 OF 1

ALLEN INDUSTRIAL
309 W. ALLEN AVENUE, SAN DIMAS, CA - CONCRETE TILT UP WAREHOUSE / OFFICE BUILDING



60 CAST IRON ROOF DRAIN
 (2) 6" X 10" OVERFLOW SCUPPER
 AREA OF SLOPE (8,564 S.F.)

60 CAST IRON ROOF DRAIN
 (2) 6" X 10" OVERFLOW SCUPPER
 AREA OF SLOPE (8,564 S.F.)

60 CAST IRON ROOF DRAIN
 (2) 6" X 10" OVERFLOW SCUPPER
 AREA OF SLOPE (8,564 S.F.)

WHITE REFLECTIVE COATING TYP. AT
 ROOF AT OFFICE AND MEZZANINE
 (HATCHED AREA) PROVIDE 2X6 MIN.
 SUB-PURLINS "TOP GUARD 5000" BY JOHNS
 MANVILLE OR APPROVED EQUIVALENT,
 THERMAL EMITTANCE AND SOLAR
 REFLECTANCE, OR SRI VALUES IN
 ACCORDANCE WITH AS.106.11.2.1 CAL
 GREEN 2019

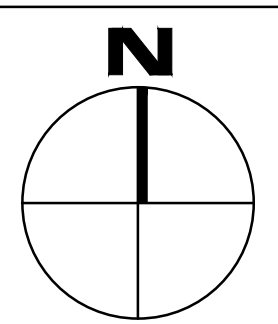
WHITE REFLECTIVE COATING TYP. AT
 ROOF AT OFFICE AND MEZZANINE
 (HATCHED AREA) PROVIDE 2X6 MIN.
 SUB-PURLINS "TOP GUARD 5000" BY JOHNS
 MANVILLE OR APPROVED EQUIVALENT,
 THERMAL EMITTANCE AND SOLAR
 REFLECTANCE, OR SRI VALUES IN
 ACCORDANCE WITH AS.106.11.2.1 CAL
 GREEN 2019

60 CAST IRON ROOF DRAIN
 (2) 6" X 10" OVERFLOW SCUPPER
 AREA OF SLOPE (8,564 S.F.)

60 CAST IRON ROOF DRAIN
 (2) 6" X 10" OVERFLOW SCUPPER
 AREA OF SLOPE (8,564 S.F.)

60 CAST IRON ROOF DRAIN
 (2) 6" X 10" OVERFLOW SCUPPER
 AREA OF SLOPE (8,564 S.F.)

ROOF PLAN
 SCALE 1/16" = 1'-0"



ROOF PLAN KEYNOTES

- 1 CONCRETE PARAPET WALL - SEE STRUCTURAL DRAWINGS FOR THICKNESS, TYPICAL
- 2 ROOF DRAIN - INTERIOR ROOF DRAIN & EXTERIOR OVERFLOW SCUPPER
- 3 PLYWOOD BUILT-UP CRICKETS, PROVIDE MIN. 1/4" PER FOOT SLOPE
- 4 ROOF ADDRESS LETTERS PAINTED IN BLACK, WHEN REQUIRED BY THE CITY SHALL BE PER CITY REQUIREMENTS, BUT SHALL NOT BE LESS THAN 4'-0" HIGH w/MIN. 12" WIDE STROKE PER LETTER - CONTRACTOR SHALL CONFIRM ACTUAL ADDRESS NUMBER PRIOR TO INSTALLATION
- 5 CLASS "A" 4 PLY B.U.R. SYSTEM BY JM SPEC 4/GNC OR APPROVED EQUAL UL 790 CONSISTING OF:
 - 28 lb. GLASS BASE SHEET, MECHANICALLY FASTENED - 1 LAYER
 - 11 lb. GLASS PLY SHEET - 2 LAYERS
 - 78 lb. GLASS CAP SHEET - 1 LAYER
 - H.M.P., ASPHALT MOPPING BETWEEN LAYERS
- 6 ROOF ACCESS HATCH
- 7 HVAC UNIT COMPLETELY SCREENED FROM PUBLIC VIEW SEE ELEVATIONS

A200
 SHEET 1 OF 1

CONTENTS: ROOF PLAN
 SCALE: PROJECT NO. A-20-01X
 DATE: 07-29-2020 DRAWN: R.S.

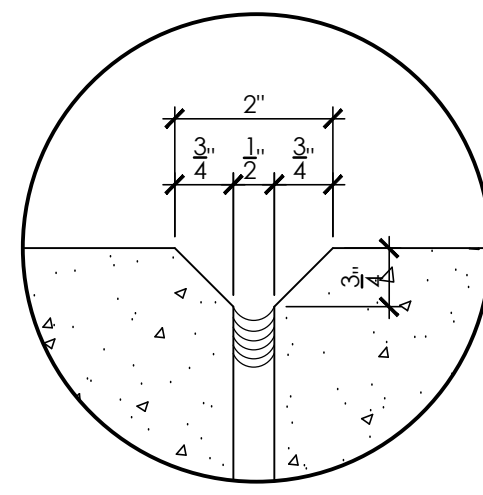
CLIENT: CHALMERS EQUITY GROUP
 7901 CROSSWAY DRIVE
 PICO RIVERA, CA 90660

REVISIONS:

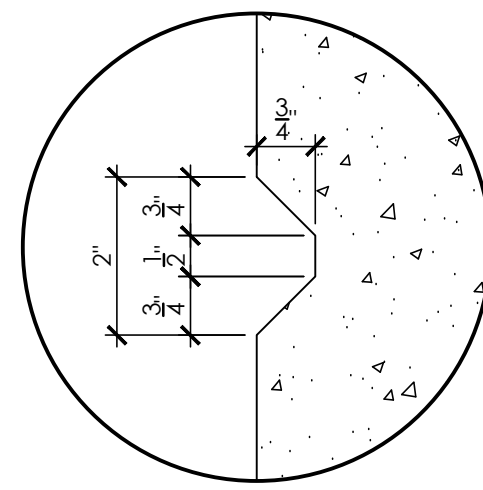
C.E.G.
 CONSTRUCTION
 7901 CROSSWAY DR. PICO RIVERA, CA 90660
 TEL (652)942-9804 FAX (652)948-1735

O.C. DESIGN & ENGINEERING
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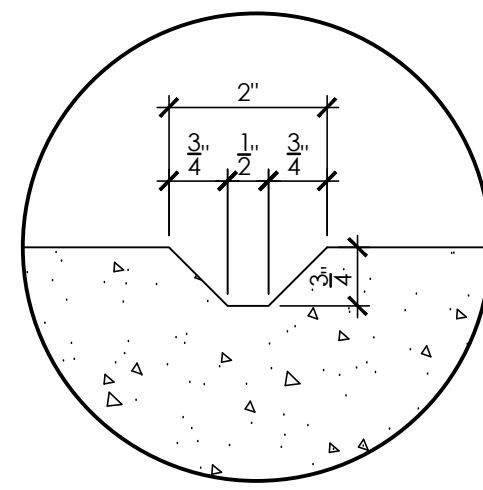
ALLEN INDUSTRIAL
 309 W. ALLEN AVENUE, SAN DIMAS, CA - CONCRETE TILT UP WAREHOUSE / OFFICE BUILDING



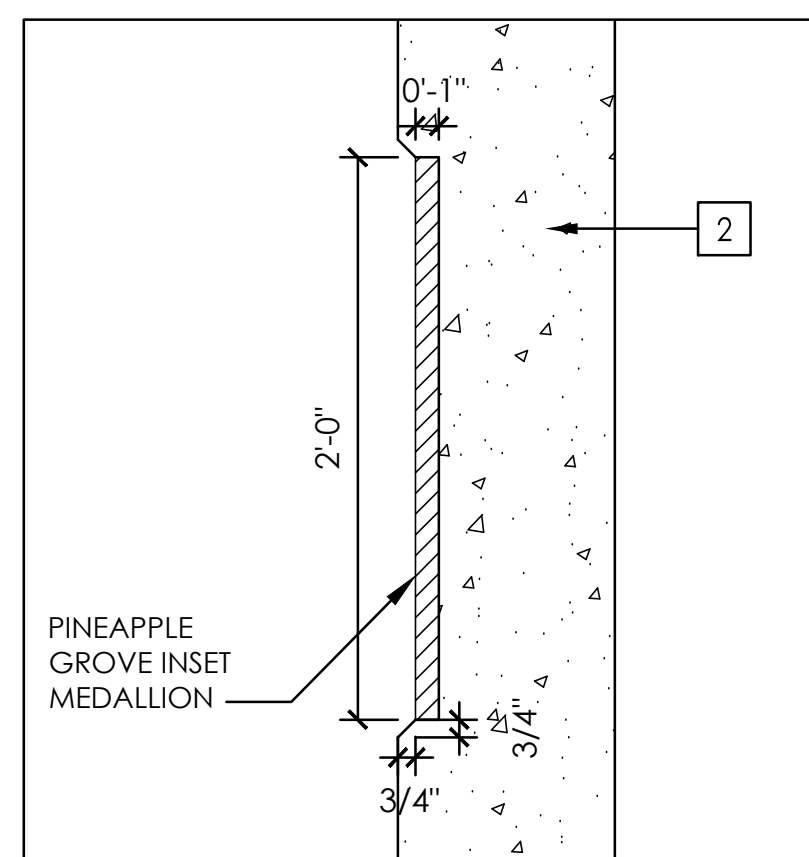
TYP. PANEL JOINT
DETAIL - A



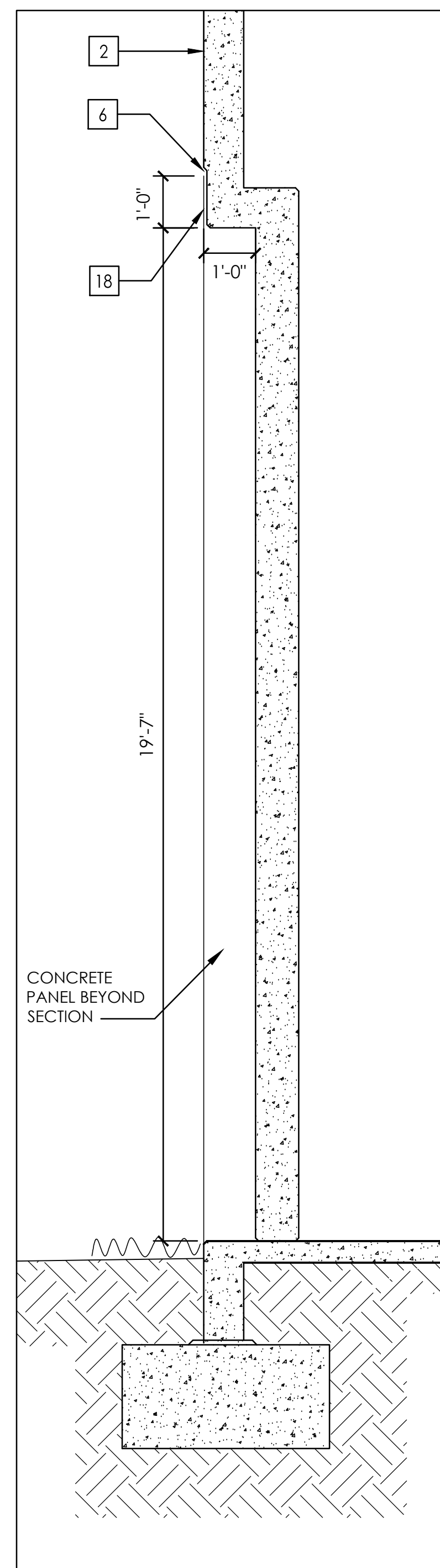
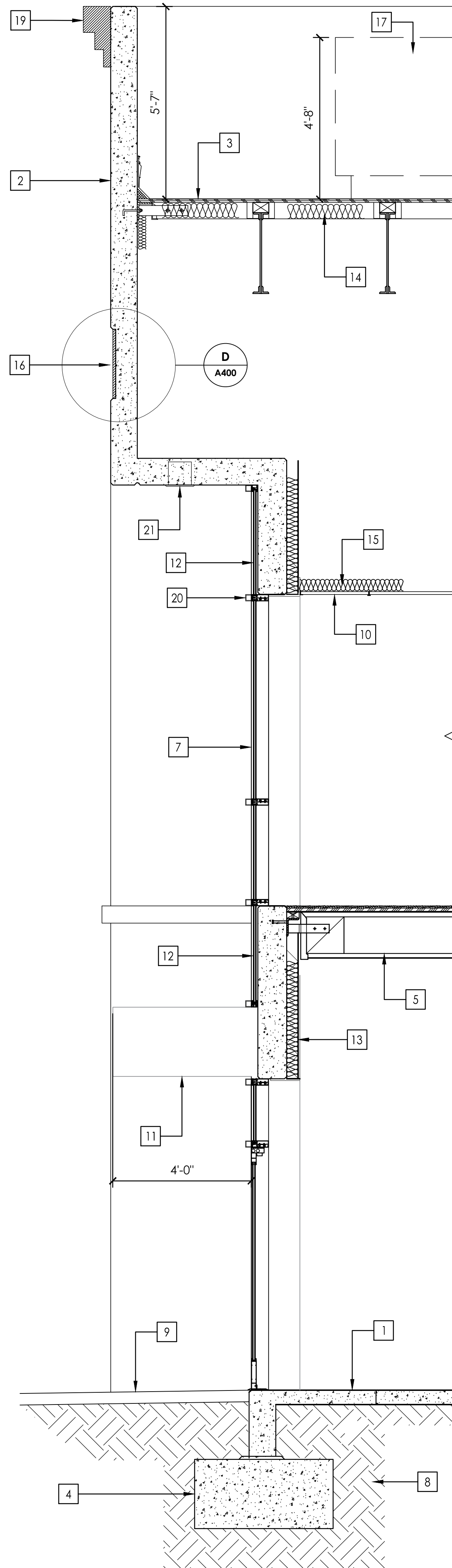
2" HORIZONTAL REVEAL
DETAIL - B



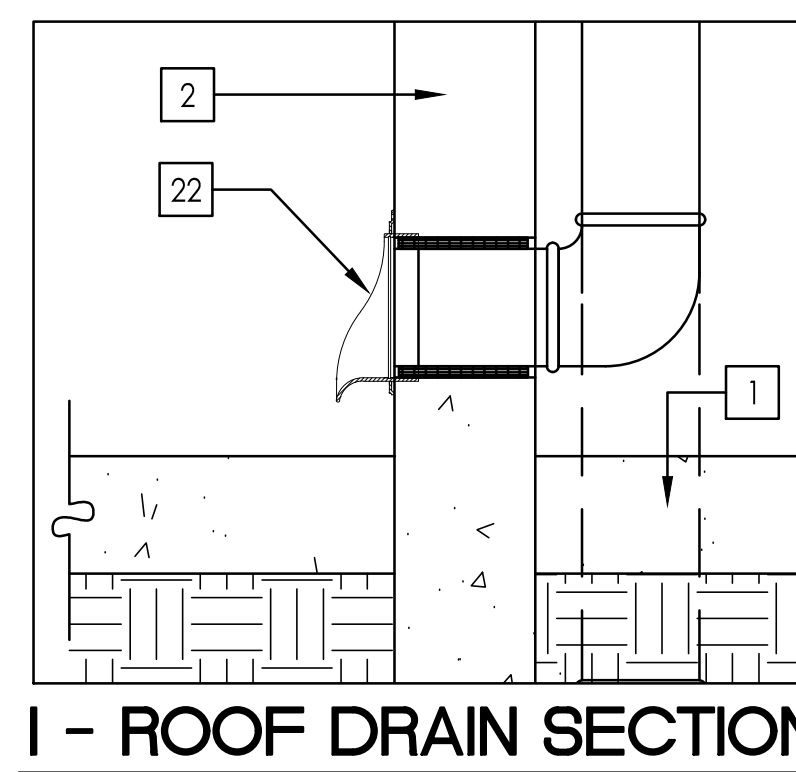
2" VERTICAL REVEAL
DETAIL - C



INSET ACCENT MEDALLION
DETAIL - D
SCALE: 1-1/2" = 1'-0"

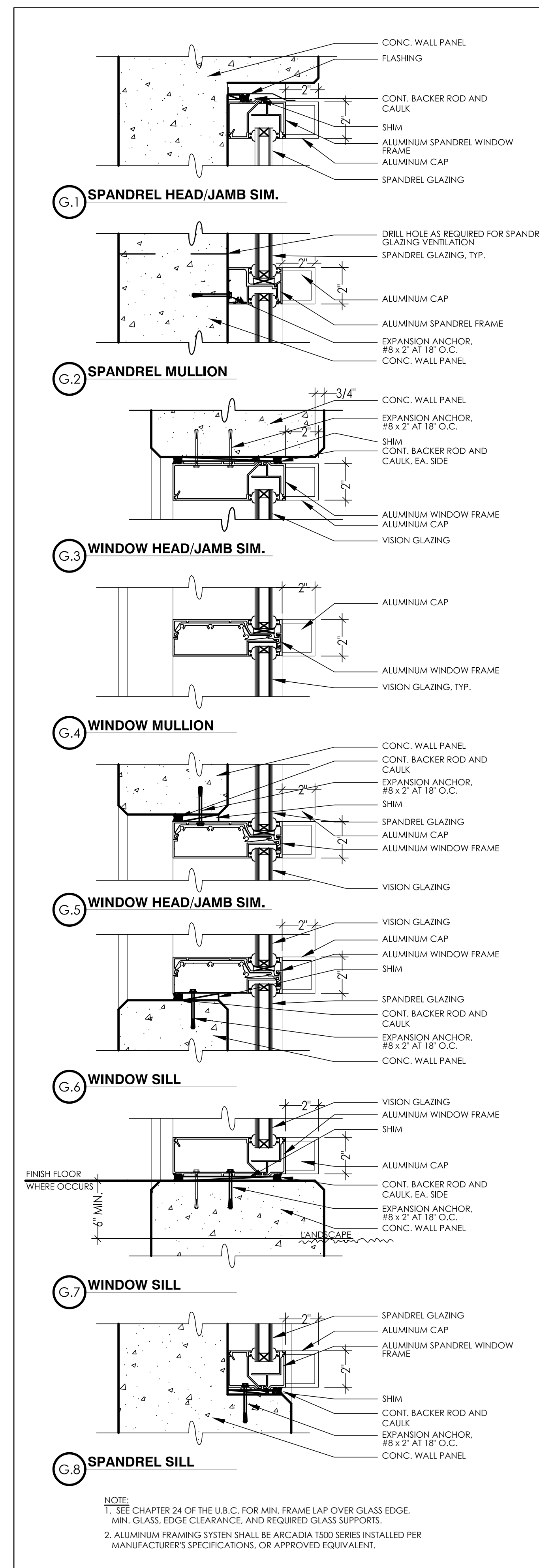


F - RECESSED ARCHWAY SECTION
SCALE: 1/4" = 1'-0"



I - ROOF DRAIN SECTION
SCALE: 1-1/2" = 1'-0"

E - WALL SECTION
SCALE: 1/4" = 1'-0"

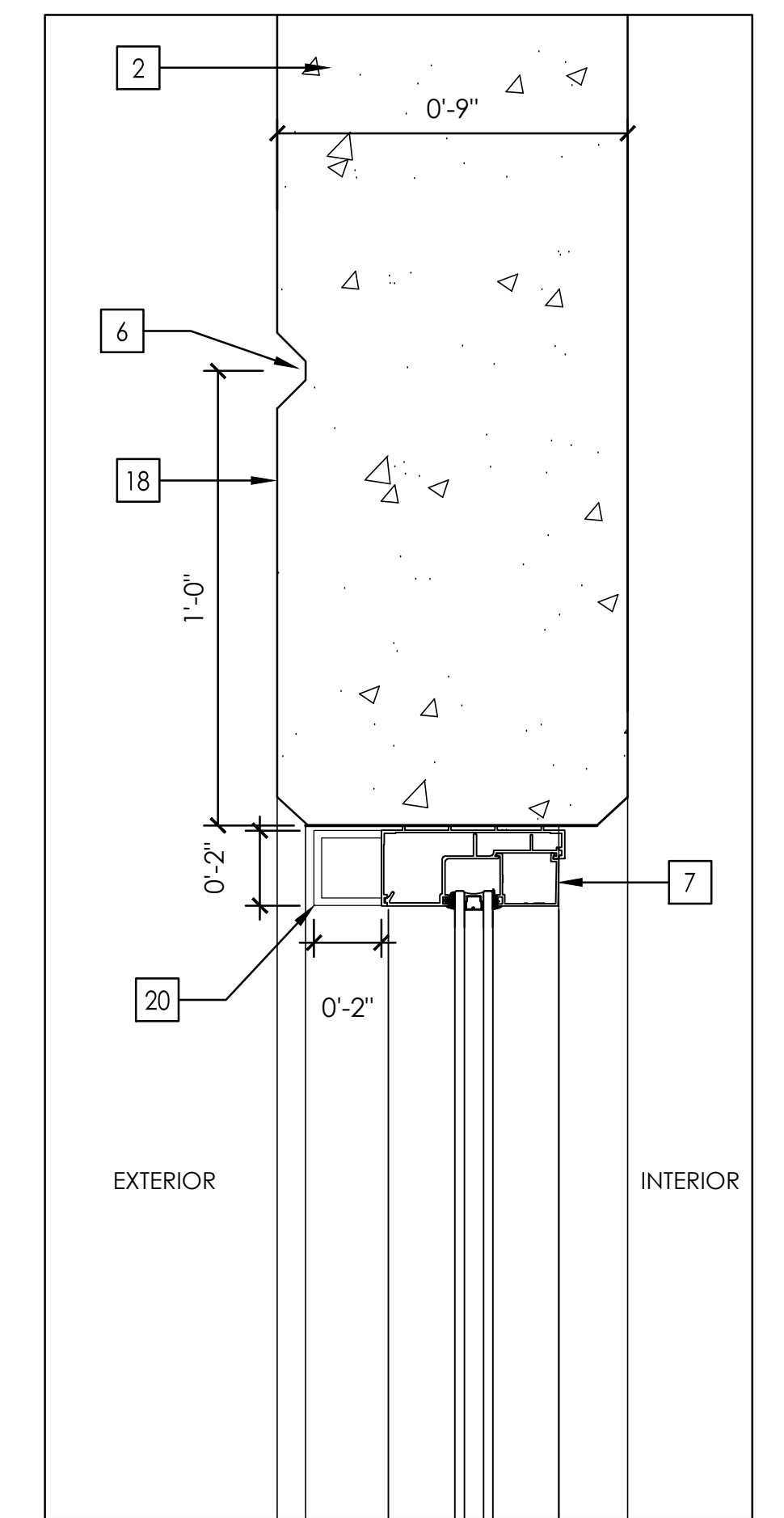


NOTE:
1. SEE CHAPTER 24 OF THE U.S.C. FOR MIN. FRAME LAP OVER GLASS EDGE, MIN. GLASS, EDGE CLEARANCE, AND REQUIRED GLASS SUPPORTS.
2. ALUMINUM FRAMING SYSTEM SHALL BE ARCADIA T500 SERIES INSTALLED PER MANUFACTURER'S SPECIFICATIONS, OR APPROVED EQUIVALENT.

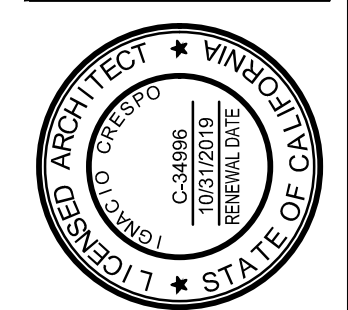
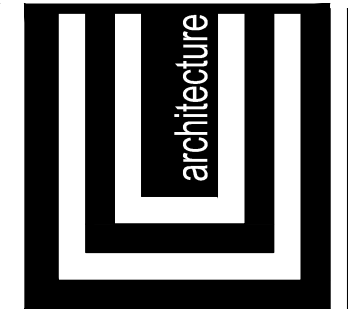
G - GLAZING DETAILS
SCALE: 1-1/2" = 1'-0"

TYPICAL WALL SECTION KEYNOTES

- 1 CONCRETE FLOOR SLAB
- 2 CONCRETE TILT-UP WALL PANEL
- 3 BUILT-UP ROOFING OVER ROOF FRAMING
- 4 CONCRETE WALL FOOTING
- 5 MEZZANINE FLOOR/FRAMING
- 6 HORIZONTAL PANEL REVEAL, TYPICAL - SEE DETAIL B
- 7 ALUMINUM STOREFRONT WINDOW/ENTRANCE SYSTEM, DARK COLOR BRONZE, TYPICAL - SEE ELEVATIONS
- 8 COMPACTED BACKFILL
- 9 CONCRETE PAVING / WALK / LANDING / ASPHALT PAVING OR FINISH GRADE - SEE SITE PLAN
- 10 CEILING PER PLAN
- 11 CANOPY ABOVE PER DETAIL PLAN
- 12 SPANDREL GLAZING SYSTEM, SEE ELEVATION
- 13 R-13 INSULATION AT WALLS AROUND OFFICE AREA
- 14 R-30 INSULATION AT THE ROOF IN OFFICE AREA
- 15 R-11 INSULATION OVER T-BAR FOR NOISE REDUCTION
- 16 24" X 24" PINEAPPLE GROVE QUADRANT INSET MEDALLION (#24SM-07). SEE ELEVATIONS
- 17 ROOF-MOUNTED MECHANICAL EQUIPMENT - COMPLETELY SCREENED FROM VIEW
- 18 1'-0" COLOR BAND - CONCRETE PAINTED ACCENT COLOR IN BETWEEN 2" REVEALS
- 19 18" DECORATIVE CORNICE
- 20 2" ALUMINUM CAP, DARK COLOR BRONZE- TYPICAL
- 21 RECESSED DOWNLIGHT - TYPICAL
- 22 DECORATIVE DOWNSPOUT NOZZLE 'ZURN Z199' OR EQUAL



H - TYPICAL CLERESTORY WINDOW HEADER
SCALE: 1/4" = 1'-0"



O.C. DESIGN & ENGINEERING

C.E.G. CONSTRUCTION
7901 CROSSWAY DR. PICO RIVERA, CA 90660
TEL: (562)942-9804 FAX: (562)948-1735

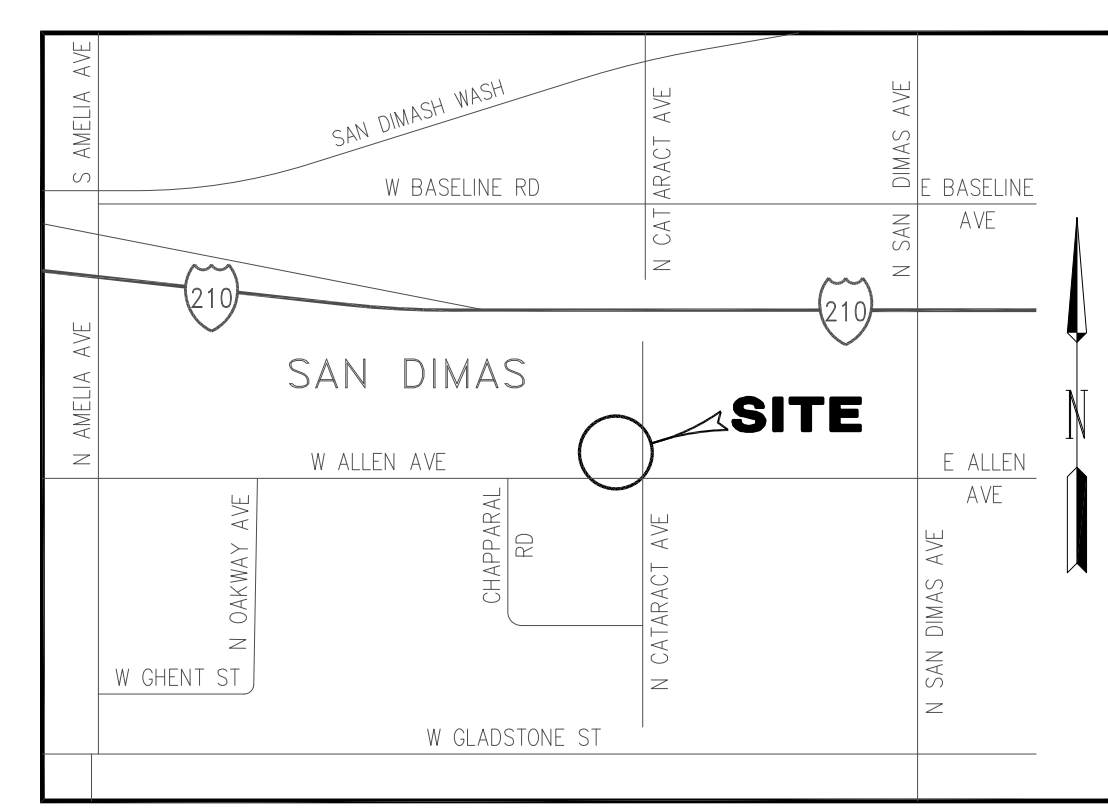
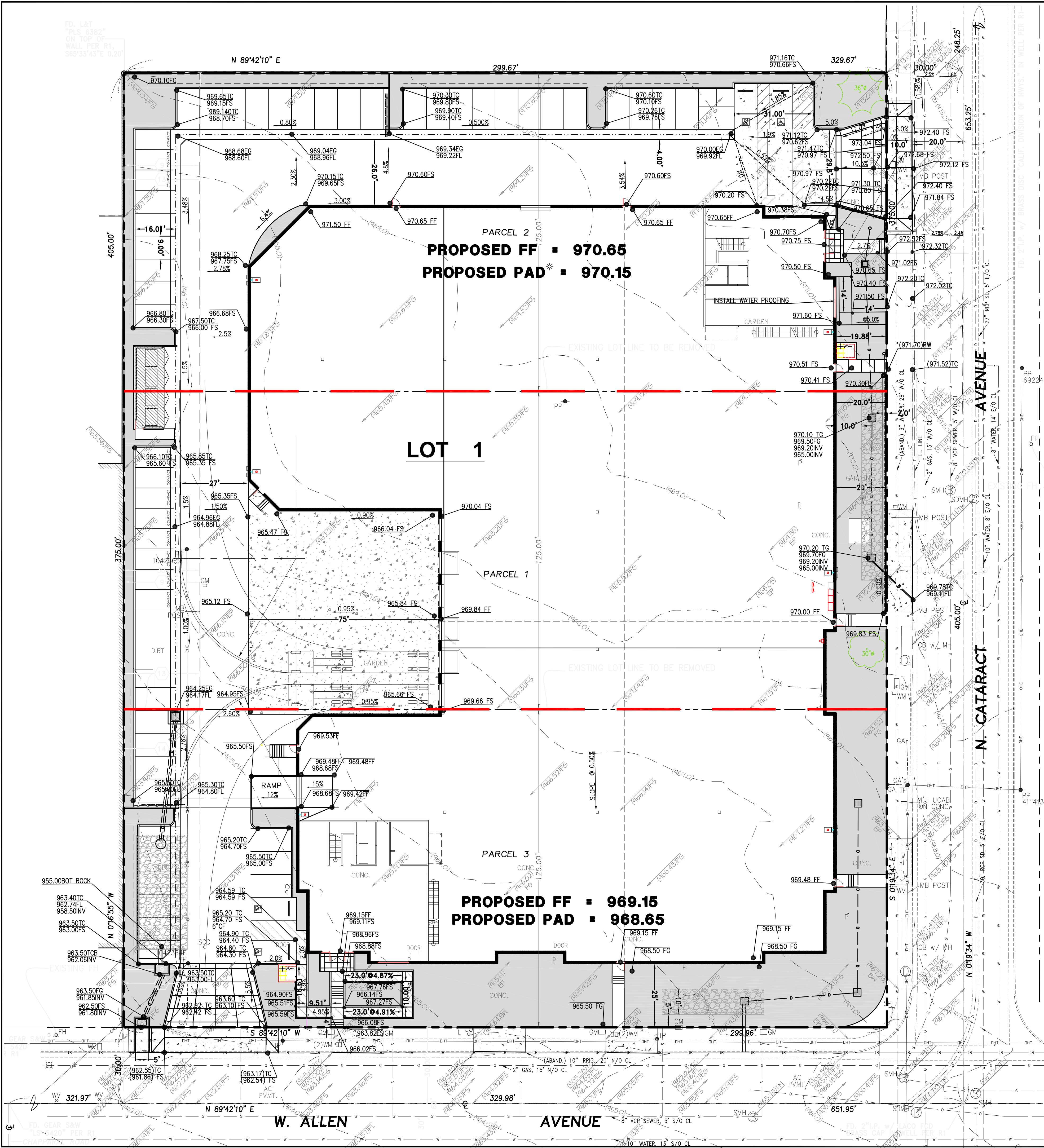
CLIENT: **CHALMERS EQUITY GROUP**
7901 CROSSWAY DRIVE
PICO RIVERA, CA 90660

CONTENTS: SECTION AND DETAILS
SCALE: PROJECT NO. A-20-01X
DATE: 07-29-2020 DRAWN: R.S.

A400
SHEET

OF SHEETS

ALLEN INDUSTRIAL
309 W. ALLEN AVENUE, SAN DIMAS, CA - CONCRETE TILT UP WAREHOUSE / OFFICE BUILDING



LAND AREA:
AREA: 112,431 SQ. FT. OR 2.581 ACRES

ASSESSOR'S PARCEL NUMBER:
A.P.N.'s 8392-016-008, 8392-016-047 AND 8392-016-048

BASIS OF BEARING:
THE BEARING NORTH 89° 42' 10" EAST OF THE CENTERLINE OF ALLEN AVENUE AS SHOWN ON A MAP FILED IN BOOK 308 PAGE 46 OF RECORD OF SURVEY, RECORDS OF LOS ANGELES COUNTY, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

- LEGEND:**
- AC - ASPHALT CONCRETE
 - CB - CATCHBASIN
 - CL - CENTERLINE
 - CLF - CHAIN LINK FENCE
 - CONC - CONCRETE
 - ELEC - ELECTRIC
 - FD - FOUND
 - HCR - HANDICAP RAMP
 - IP - IRON PIPE
 - LS - LAND SURVEYOR
 - L&T - LEAD & TACK
 - MB - MAIL BOX
 - MON - MONUMENT
 - MH - MANHOLE
 - PLN - PLANTER
 - PVMT - PAVEMENT
 - R1 - RECORD OF SURVEY 308-46
 - S&W - SPIKE & WASHER
 - UCAB - UTILITY CABINET
 - WDF - WOOD FENCE
 - WIF - WROUGHT IRON FENCE
- SYMBOLS:**
- SIGN POST
 - GUARD POST
 - POST
 - FIRE HYDRANT
 - STREET LIGHT
 - AREA LIGHT
 - POWER POLE
 - TELEPHONE POLE
 - GUY ANCHOR
 - GAS METER
 - WATER METER
 - CLEANOUT
 - SEWER CLEANOUT
 - WATER VALVE
 - GRATE INLET
 - STORM DRAIN MANHOLE
 - SEWER MANHOLE
 - TREE
 - PALM TREE
 - PINE TREE
- BENCHMARK:** (LOS ANGELES COUNTY PUBLIC WORKS SURVEY SECTION)
QUAD/YEAR: SAN DIMAS / 2013
ELEVATION: 927.677 FT.
DESCRIPTION: L&R IN W CB 6.5FT S/O BCR @ SW COR AMELIA AVE & AUTO CTR DR
BM NUMBER: NG 3529

LEGAL DESCRIPTION: PROPOSED

THE LAND REFERRED TO IS SITUATED IN THE COUNTY OF LOS ANGELES, CITY OF SAN DIMAS, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 1:

THE SOUTHERLY THREE HUNDRED SEVENTY-FIVE (375) FEET OF THE SOUTHEAST QUARTER OF LOT 30 OF A SUBDIVISION OF A PART OF SECTIONS 33 AND 34, TOWNSHIP 1 NORTH, RANGE 9 WEST, AND A PART OF SECTIONS 4 AND 3, TOWNSHIP 1 SOUTH, RANGE 9 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE RANCHO SAN JOSE ADDITION, IN THE CITY OF SAN DIMAS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 60 PAGE 8 OF MISCELLANEOUS RECORDS OF SAID COUNTY.

EXCEPT THEREFROM THAT PORTION THEREOF CONTAINED WITHIN THE BOUNDARIES OF THE WEST 5 ACRES OF THE SOUTH HALF OF LOT 30, ACREAGE CALCULATED TO CENTER OF ADJACENT STREETS.

LEGAL DESCRIPTION: EXISTING

THE LAND REFERRED TO IS SITUATED IN THE COUNTY OF LOS ANGELES, CITY OF SAN DIMAS, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

THE NORTH ONE HUNDRED TWENTY-FIVE (125) FEET OF THE SOUTH TWO HUNDRED FIFTY (250) FEET OF THE SOUTHEAST QUARTER OF LOT 30 OF A SUBDIVISION OF A PART OF SECTIONS 33 AND 34, TOWNSHIP 1 NORTH, RANGE 9 WEST, AND A PART OF SECTIONS 4 AND 3, TOWNSHIP 1 SOUTH, RANGE 9 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE RANCHO SAN JOSE ADDITION, IN THE CITY OF SAN DIMAS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 60 PAGE 8 OF MISCELLANEOUS RECORDS OF SAID COUNTY.

EXCEPT THEREFROM THAT PORTION THEREOF CONTAINED WITHIN THE BOUNDARIES OF THE WEST 5 ACRES OF THE SOUTH HALF OF LOT 30, ACREAGE CALCULATED TO CENTER OF ADJACENT STREETS.

ASSESSOR'S PARCEL NUMBER: 8392-016-048

PARCEL 2:

THE NORTH 125 FEET OF THE SOUTH 375 FEET OF THE SOUTH HALF OF LOT 30 OF A SUBDIVISION OF A PART OF SECTIONS 33 AND 34, TOWNSHIP 1 NORTH, RANGE 9 WEST, AND A PART OF SECTIONS 4 AND 3, TOWNSHIP 1 SOUTH, RANGE 9 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE RANCHO SAN JOSE ADDITION, IN THE CITY OF SAN DIMAS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 60 PAGE 8 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THAT PORTION WITHIN THE WEST FIVE ACRES THEREOF (ACREAGE CALCULATED TO CENTER OF ADJACENT STREETS).

ASSESSOR'S PARCEL NUMBER: 8392-016-047

PARCEL 3:

THE SOUTH 125 FEET OF LOT 30 OF A SUBDIVISION OF A PART OF SECTIONS 33 AND 34, TOWNSHIP 1 NORTH, RANGE 9 WEST, AND A PART OF SECTIONS 4 AND 3, TOWNSHIP 1 SOUTH, RANGE 9 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE RANCHO SAN JOSE ADDITION, IN THE CITY OF SAN DIMAS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 60 PAGE 8 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THAT PORTION THEREOF INCLUDED WITHIN THE BOUNDARIES OF THE WEST 5 ACRES OF THE SOUTH HALF OF SAID LOT 30, SAID ACREAGE IS CALCULATED TO CENTER OF ADJACENT STREETS.

ASSESSOR'S PARCEL NUMBER: 8392-016-008

REFERENCE DOCUMENT:
OLD REPUBLIC TITLE COMPANY'S PRELIMINARY REPORT ORDER NO. 2676018294-52 DATED AUGUST 12, 2020.

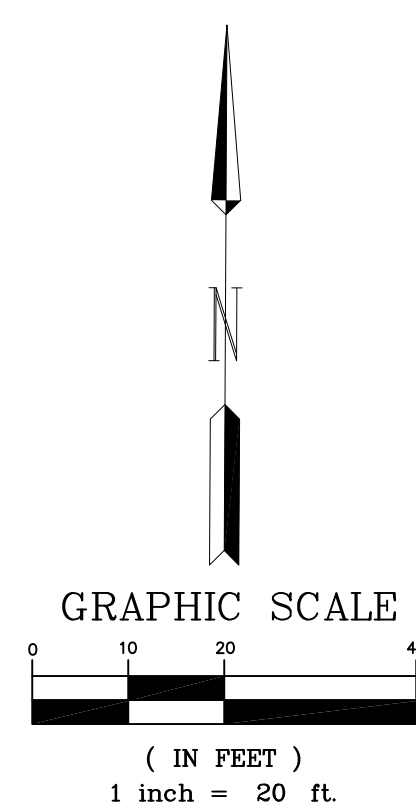
EASEMENT SCHEDULE:

ITEM NO.	GRANTEE	PURPOSE	REFERENCE	REMARKS
6		RIGHT TO DEVELOP WATER	BOOK 1004 PAGE 90 REC. 4/03/1895, DEEDS	AFFECTS PROPERTY
7		PIPE LINE	BOOK 1280 PAGE 64 REC. 10/26/1898, DEEDS	AFFECTS PROPERTY
8		ESMT. RESERVATION FOR PIPE LINES	BOOK 8420 PAGE 37 REC. 9/18/1926, O.R.	AFFECTS PROPERTY
9	SOUTHERN COUNTIES GAS CO. OF CALIF.	GAS PIPES, MAINS, METERING,	BOOK 9742 PAGE 873 REC. 7/30/1971, O.R.	SHOWN HEREON (30' WIDE)
10	SAN DIMAS RED-VELOPMENT AGENCY	CREATIVE GROWTH REDEVELOPMENT PROJ. AREA	INST. NO. 20072713333 REC. 12/11/2007, O.R.	PROPERTY IS w/i THE PROJECT AREA
11	ARTESIAN BELT WATER COMPANY	LICENSE TO CONSTRUCT & MAINTAIN 12" CEMENT PIPE	BOOK 1549 PAGE 316 REC. 4/22/1902, DEEDS	AFFECTS PROPERTY
13	SOUTHERN CALIF. EDISON CO.	ELECTRIC LINE	INST. NO. 2848 REC. 9/02/1954, O.R.	SHOWN HEREON (30' WIDE)
14	SOUTHERN CALIF. EDISON CO.	ELECTRIC LINE	INST. NO. 2847 REC. 9/02/1954, O.R.	SHOWN HEREON (30' WIDE)

BENCHMARK: (LOS ANGELES COUNTY PUBLIC WORKS SURVEY SECTION)
QUAD/YEAR: SAN DIMAS / 2013
ELEVATION: 927.677 FT.
DESCRIPTION: L&R IN W CB 6.5FT S/O BCR @ SW COR AMELIA AVE & AUTO CTR DR
BM NUMBER: NG 3529

SURVEYOR'S NOTES:

1. IF UNDERGROUND UTILITIES AND OTHER SUBSTRUCTURES, ZONING, SET BACK, FLOOD ZONE, ASSESSOR PARCEL INFORMATION AND UTILITY INFORMATION ARE SHOWN HEREON, IT IS FOR GENERAL INFORMATIONAL PURPOSES ONLY, HAVING BEEN OBTAINED FROM A GENERAL REQUEST AT THE LOCAL AGENCIES PUBLIC COUNTER AND/OR SOURCES NOT CONNECTED WITH THIS COMPANY. NO REPRESENTATION IS MADE AS TO THE ACCURACY, CURRENCY OR COMPLETENESS OF SAID INFORMATION AND ANY USERS OF SAID INFORMATION ARE URGED TO CONTACT THE UTILITY OR LOCAL AGENCY DIRECTLY. ZONING RESTRICTIONS ARE SUBJECT TO DEVELOPMENTAL REVIEW AND APPROVAL.



TITLE
GRADING PLAN
309 W. ALLEN AVENUE, 917 & 929 N. CATARACT AVENUE
SAN DIMAS, CA 91773

CLIENT
S.E.G. CONSTRUCTION

SCALE 1"=20'
SURVEY BY N.A.
PREPARED BY M.D.
CHECKED BY M.D.

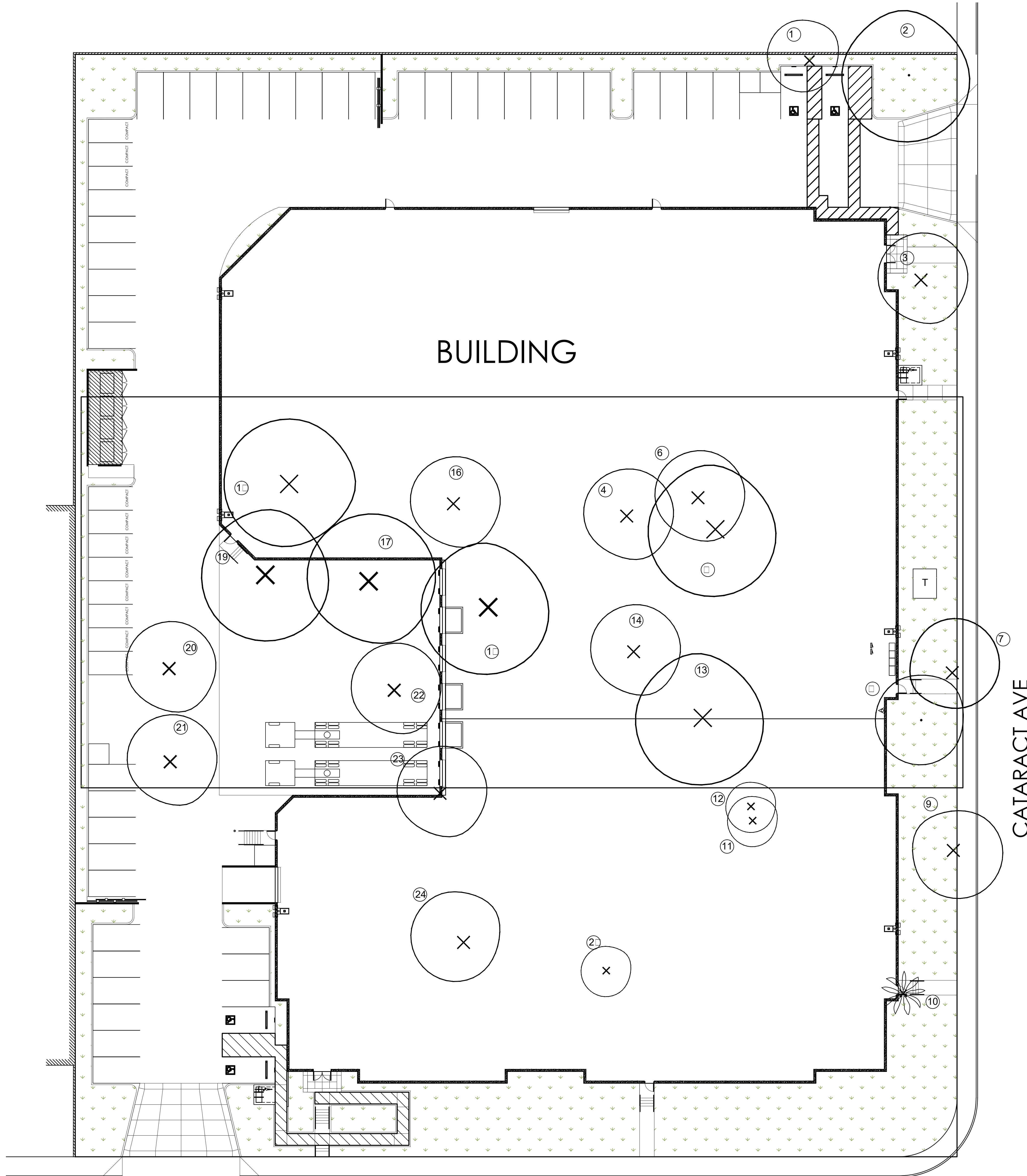
SEABOARD ENGINEERING CO.
1415 E. COLORADO STREET, STE 205
GLENDALE, CALIFORNIA 91205
TEL. (310)277-7337 (818)550-0337 FAX (818)550-0339
SEABOARD@SEABOARDENGINEERING.COM

JOB NO. 21-68
DATE 10/28/2021
SHEET 1
OF 1 SHEETS

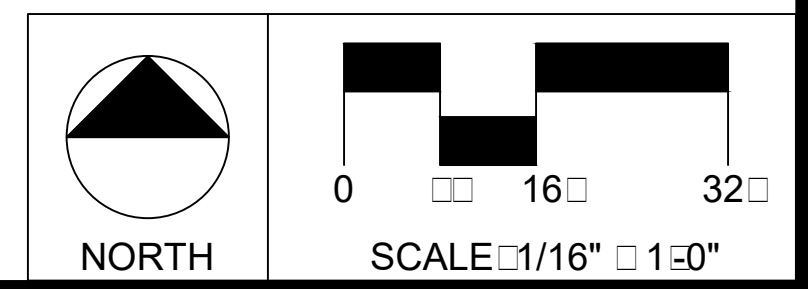
BY *Marites A. Dizon*
MARITES A. DIZON PLS 9246

EXISTING TREES PLANT LEGEND

TREE #	BOTANICAL NAME	COMMON NAME	DBH (inches)	HEIGHT (feet)	WIDTH (feet)	REMARKS
1	Ficus benjamina	Weeping Fig	8	20	20	TO BE REMOVED
2	Pinus torreyana	Torrey Pine	36	40	40	TO REMAIN
3	Ailanthus altissima	Tree of Heaven	8	20	19	TO BE REMOVED
4	Schinus molle	California Pepper	30	40	30	TO BE REMOVED
5	Schinus molle	California Pepper	30	40	30	TO BE REMOVED
6	Schinus molle	California Pepper	14	20	15	TO BE REMOVED
7	Schinus molle	California Pepper	24	20	35	TO BE REMOVED
8	Schinus molle	California Pepper	36	45	35	TO REMAIN
9	Schinus molle	California Pepper	14,8,14	25	40	TO BE REMOVED
10	Washingtonia robusta	Mexican Fan Palm	24	65	16	TO BE REMOVED
11	Schinus molle	California Pepper	6	15	18	TO BE REMOVED
12	Schinus molle	California Pepper	5	18	18	TO BE REMOVED
13	Schinus molle	California Pepper	30	48	48	TO BE REMOVED
14	Schinus molle	California Pepper	27	38	43	TO BE REMOVED
15	Schinus molle	California Pepper	30	35	39	TO BE REMOVED
16	Pinus torreyana	Torrey Pine	30	57	43	TO BE REMOVED
17	Schinus molle	California Pepper	30	40	40	TO BE REMOVED
18	Schinus molle	California Pepper	41	60	45	TO BE REMOVED
19	Schinus molle	California Pepper	36	50	56	TO BE REMOVED
20	Fraxinus	Ash Tree	14	30	16	TO BE REMOVED
21	Fraxinus	Ash Tree	10	23	11	TO BE REMOVED
22	Fraxinus	Ash Tree	12	22	15	TO BE REMOVED
23	Schinus molle	California Pepper	24	35	38	TO BE REMOVED
24	Schinus molle	California Pepper	46	40	60	TO BE REMOVED
25	Cupaniopsis anacardioides	Carrotwood Tree	12	22	20	TO BE REMOVED

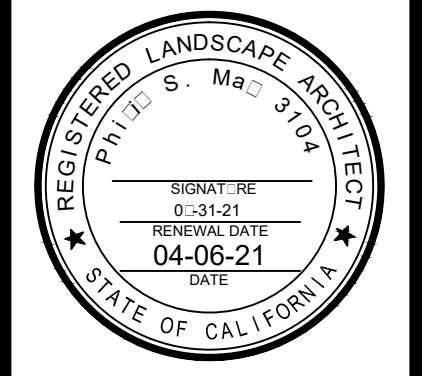


ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



REVISIONS	BY
04-06-21	

PHIL MAY LANDSCAPE ARCHITECTURE
 2532 Wallace Ave.
 Fullerton, CA 92831
 Phone: 909 373 1959
 pmay@philmaydesign.com
 www.philmaydesign.com



TREE INVENTORY PLAN

NEW BUILDING
 309 W. ALLEN AVE.
 SAN DIMAS, CA

DRAWN: R.S.
 CHECKED: R.S.
 DATE: 01-11-2021
 SHEET: L-1
 OF 2 SHEETS
 D: NO. 21006

